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date of filing. No interest shall be charged on the amount
except as stated.

LIBER 21851 PG 739

245133

SEP 27 2000

LIBER 21851 PAGE 739
\$47.00 MISC RECORDING
\$2.00 REMONUMENTATION
09/28/2000 11:28:57 A.M. RECEIPT# 69254
PAID RECORDED - OAKLAND COUNTY
G. WILLIAM CADDELL, CLERK/REGISTER OF DEEDS

034612

FIRST AMENDMENT TO MASTER DEED
PARK RIDGE AT STONEWOOD

THIS IS THE FIRST AMENDMENT TO THE MASTER DEED OF PARK RIDGE AT STONEWOOD (this "First Amendment to Master Deed"). This First Amendment to Master Deed has been signed and delivered on the 26th day of April, 2000, by THE PARKS AT STONEWOOD, L.L.C., a Michigan limited liability company, the address of which is 4000 Main Street, Bay Harbor, Michigan 49770 ("Developer").

Pursuant to a certain Master Deed dated October 25, 1999, recorded November 19, 1999, in Liber 20815, Page 508, Oakland County Records; (the "Master Deed"), Developer has established Park Ridge at Stonewood as a condominium project. Park Ridge at Stonewood is identified as Oakland County Condominium Subdivision Plan No. 1215.

1. Amendment to the Master Deed of Park Ridge at Stonewood.

(a) Pursuant to Article VIII of the Master Deed, Developer has reserved the right to add to the Condominium Project such portion or portions of the land described in the Master Deed (the project consisted of Units 1-17, and Developer is adding Units 18-62); and it is pursuant to the terms of Article VIII of the Master Deed that Developer does hereby amend the Master Deed of Park Ridge at Stonewood by deleting the legal description of Park Ridge at Stonewood that appears in the Master Deed and replacing it in its entirety by the following legal description:

A PART OF SECTIONS 30 AND 31, T4N, R9E, INDEPENDENCE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS BEGINNING AT A POINT LOCATED N89°37'20"W 1679.64 FT AND ALONG THE SOUTH LINE OF SECTION 30 TO A POINT ON THE CENTERLINE OF WHITE LAKE ROAD; TH N 27°50'04"E 147.08 FT ALONG SAID CENTERLINE TO A POINT ON THE CENTERLINE OF A 200 FT WIDE DETROIT EDISON EASEMENT AND S 88°55'05"W 1135.49 FT FROM THE SOUTHEAST CORNER OF SECTION 30, T4N, R9E; TH FROM SAID POINT OF BEGINNING S 64°10'21"W 1477.07 FT; TH N 48°19'58"W 264.95 FT; TH ALONG A CURVE TO THE RIGHT (R=200.00 FT, DELTA=22°30'20", LC=N 52°55'11"E 78.05 FT) AN ARC DISTANCE OF 78.56 FT; TH N 64°10'21"E 129.16; TH ALONG A CURVE TO THE RIGHT (R=200.00 FT, DELTA = 30°37'47", LC=N 79°29'15"E 105.65 FT) AN ARC DISTANCE OF 108.92 FT; TH ALONG A CURVE TO THE LEFT (R=260.00 FT, DELTA=55°38'37", LC= N 66°58'50"E 242.70 FT) AN ARC DISTANCE OF 252.50 FT; TH ALONG A CURVE TO THE RIGHT (R=200.00 FT, DELTA=50°03'28", LC=N 64°11'15"E 169.23 FT) AN ARC DISTANCE OF 174.74 FT; TH N 89°13'00"E 143.89 FT; TH

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O.K. - RC

OK. G.K.

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AUG 23 2000

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111R 21851 PG 740

ALONG A CURVE TO THE LEFT (R=280.00 FT, DELTA=25°02'38", LC=N 76°41'41"E 121.42 FT) AN ARC DISTANCE OF 122.39 FT; TH N 64°10'21"E 421.74 FT; TH ALONG A CURVE TO THE LEFT (R=1100.00 FT, DELTA=11°41'03", LC=N 58°19'50"E 223.93 FT) AN ARC DISTANCE OF 224.32 FT; TH S 13°27'17"E 159.42 FT TO THE POINT OF BEGINNING; ALSO BEGINNING AT A POINT LOCATED N 89°37'20"W 1679.64 FT AND ALONG THE SOUTH LINE OF SECTION 30 TO A POINT ON THE CENTERLINE OF WHITE LAKE ROAD; TH N 27°50'04"E 147.08 FT ALONG SAID CENTERLINE TO A POINT ON THE CENTERLINE OF A 200 FT WIDE DETROIT EDISON EASEMENT AND S 88°55'05"W 1135.49 FT AND N 13°27'17" W 159.42 FT AND N 37°30'42" W 60.00 FT FROM THE SOUTHEAST CORNER OF SECTION 30, T4N, R9E; TH FROM SAID POINT OF BEGINNING ALONG A CURVE TO THE RIGHT (R=1040.00 FT, DELTA=11°41'03", LC=S 58°19'50"W 211.72 FT) AN ARC DISTANCE OF 212.08 FT; TH S 64°10'21"W 421.74 FT; TH ALONG A CURVE TO THE RIGHT (R=220.00 FT, DELTA=25°02'38", LC=S 76°41'41"W 95.40 FT) AN ARC DISTANCE OF 96.16 FT; TH S 89°13'00"W 143.89 FT; TH ALONG A CURVE TO THE LEFT (R=260.00 FT, DELTA=50°03'28", LC=S 64°11'15"W 220.00 FT) AN ARC DISTANCE OF 227.16 FT; TH ALONG A CURVE TO THE RIGHT (R=200.00 FT, DELTA=55°38'37", LC=S 66°58'50"W 186.69 FT) AN ARC DISTANCE OF 194.23 FT; TH ALONG A CURVE TO THE LEFT (R=260.00 FT, DELTA=30°37'47", LC=S 79°29'15"W 137.34 FT) AN ARC DISTANCE OF 138.99 FT; TH S 64°10'21"W 129.16 FT; TH ALONG A CURVE TO THE LEFT (R=260.00 FT, DELTA=22°30'20", LC=S 52°55'11"W 101.47 FT) AN ARC DISTANCE OF 102.13 FT; TH N 48°19'58"W 294.58 FT; TH N 44°23'51"E 347.11 FT; TH S 82°24'55"E 488.16 FT; TH N 00°13'08"E 2.64 FT; TH N 29°20'29"W 1240.95 FT; TH N 49°17'48"E 204.39 FT; TH S 89°35'59"E 460.64 FT; TH N 00°24'01"E 1063.16 FT; TH N 64°36'34"E 750.96 FT; TH S 58°09'35"E 633.68 FT; TH S 53°30'00"E 196.77 FT; TH S 62°03'35"E 295.76 FT; TH S 27°56'25"W 224.61 FT; TH ALONG A CURVE TO THE LEFT (R=810.00 FT, DELTA=21°24'50", LC=S 17°14'00"W 300.97 FT) AN ARC DISTANCE OF 302.73 FT; TH S 06°31'35"W 570.02 FT; TH ALONG A CURVE TO THE RIGHT (R=1040.00 FT, DELTA=45°57'43", LC=S 29°30'27"W 812.09 FT) AN ARC DISTANCE OF 834.28 FT TO THE POINT OF BEGINNING.

(b) The Condominium Subdivision Plan of Park Ridge at Stonewood is deleted and replaced in its entirety by Exhibit B to the First Amendment to the Master Deed of Park Ridge at Stonewood, Replat Number 1 of Oakland County Subdivision, Plan Number 1215, which is attached to this First Amendment to Master Deed.

1st legal pt 08-31-126 (008) ~~SW 1/4, Sec 30~~
009 ~~NW 1/4, Sec 31~~

2nd legal pt 08-31-126 (003) ~~SW 1/4, Sec 30~~
009 ~~NW 1/4, Sec 31~~

~~pt 08-30-300 (011) - SW 1/4, Sec 30~~

08-30-300-011 - SW 1/4 and SE 1/4, Sec 30

and Park Ridge at Stonewood
(-2-) CCP # 1215, unit 1-17
Ent 08-30-403-000

11851 PG 741

2. Miscellaneous: Except as modified by this First Amendment to Master Deed, the Master Deed has not been amended or modified and remains in full force and effect.

This First Amendment to Master Deed has been signed by Developer on the 26th day of April, 2000.

In the presence of:

DEVELOPER:

THE PARKS AT STONEWOOD, L.L.C., a Michigan limited liability company

By: Victor International Corporation, a Michigan corporation, Manager

By: David V. Johnson, Chairman

Ellen S. Mahoney
Print Name: ELLEN S. MAHONEY

Carol G. Demare
Print Name: CAROL G. DEMARE

MC21851PG742

State of Michigan)
County of *Oakland*)SS
)

The foregoing instrument was acknowledged before me this 26th day of April, 2000, by David V. Johnson, the Chairman of Victor International Corporation, a Michigan corporation, Manager of The Parks at Stonewood, L.L.C., a Michigan limited liability company, for the limited liability company.

ELLEN SARA MAHONEY
NOTARY PUBLIC - MICHIGAN
OAKLAND COUNTY
MY COMMISSION EXPIRES 12-08-04

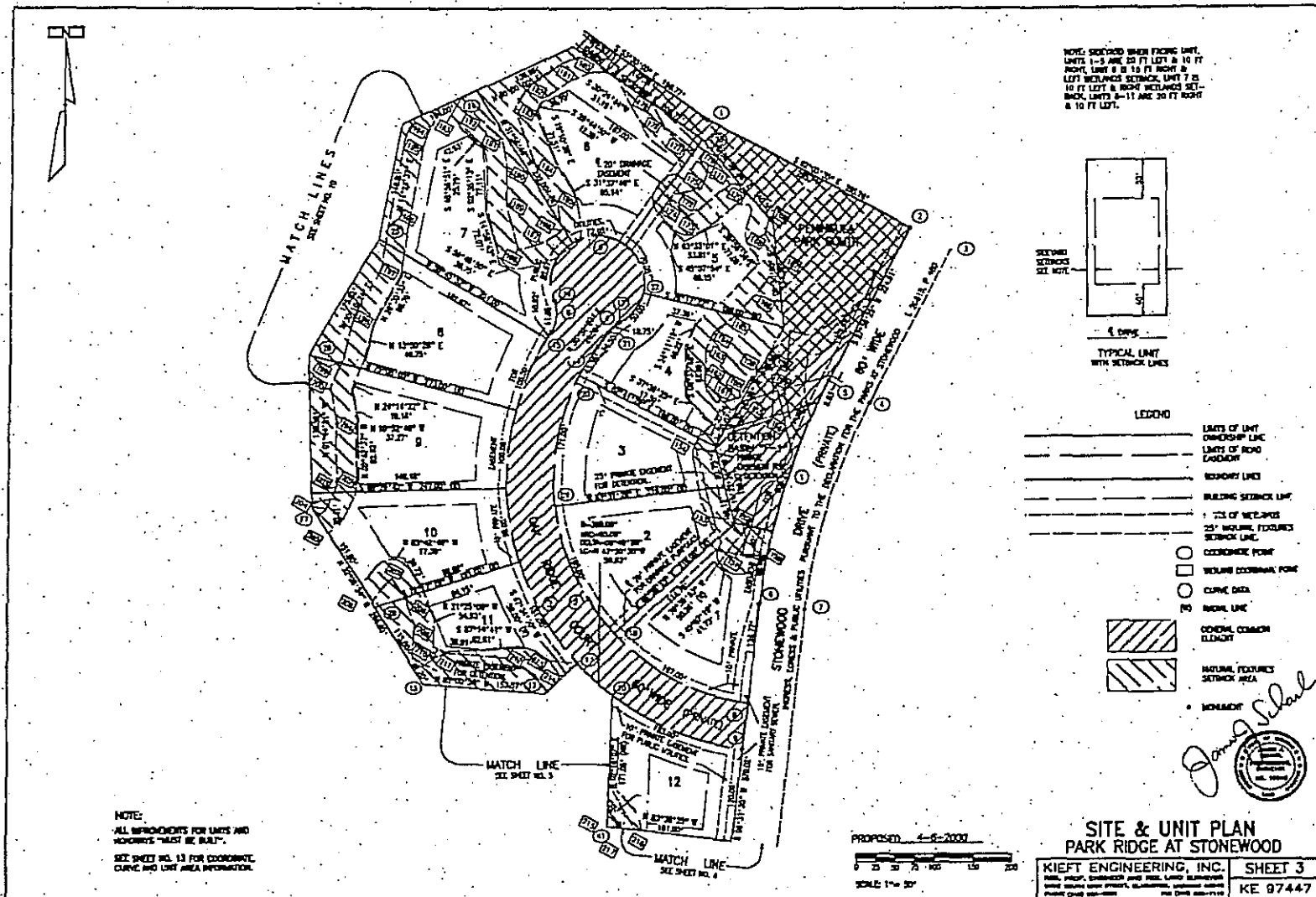
Ellen Sara Mahoney

Notary Public
County, Michigan
My Commission Expires:

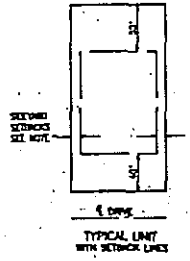
This instrument drafted by and
when recorded return to:

John R. Turner
4000 Main Street
Bay Harbor, Michigan 49770

INFO 21851 PG 745



10' WIDE SIDEWALK UNDER PAVING LIMIT.
 UNITS 1-5 ARE 20 FT LEFT & 10 FT
 FRONT, UNIT 6 IS 10 FT FRONT &
 LEFT WIDE-LANES SETBACK, UNIT 7 IS
 10 FT LEFT & 10' WIDE WIDE-LANES SET-
 BACK, UNITS 8-11 ARE 30 FT FRONT
 & 10 FT LEFT.



- LEGEND**
- LIMITS OF UNIT OWNERSHIP LINE
 - LIMITS OF ROAD EASEMENT
 - SIDEWALK LINE
 - BUILDING SETBACK LINE
 - 1' SET OF WIDE-LANES
 - 20' WIDE-LANES, FOOTING SETBACK LINE
 - CIRCULAR POLE
 - SQUARE CORNER POLE
 - CURVE DATA
 - RIGHT LINE
 - ▨ GENERAL COMMON EASEMENT
 - ▨ NATURAL FEATURES SETBACK AREA
 - MONUMENT

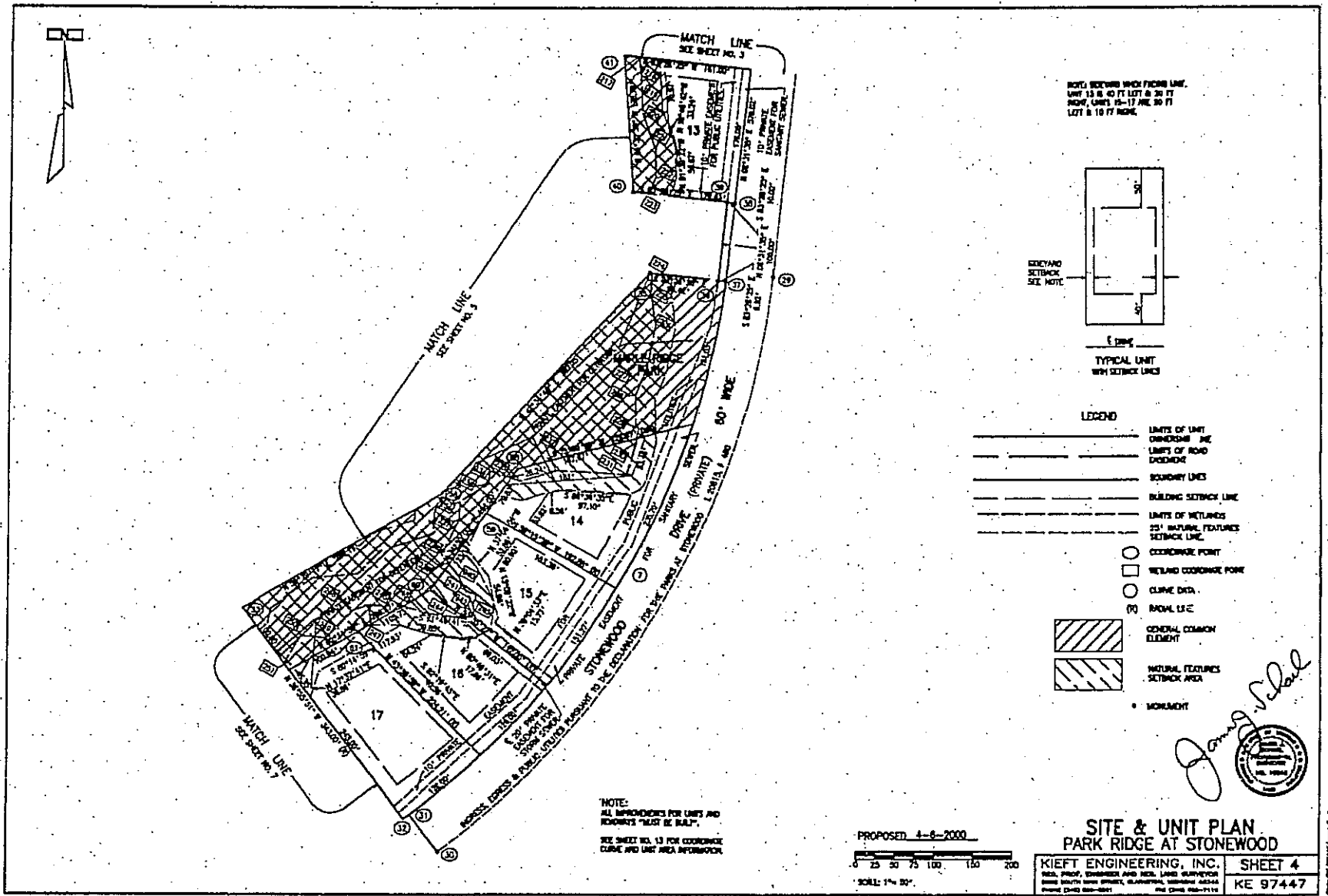
NOTE:
 ALL IMPROVEMENTS FOR UNITS AND
 MONUMENTS MUST BE BUILT.
 SEE SHEET NO. 13 FOR COORDINATE,
 CURVE AND UNIT AREA INFORMATION.

PROPOSED 4-6-2009
 SCALE 1" = 30'
 0 25 50 75 100 150 200

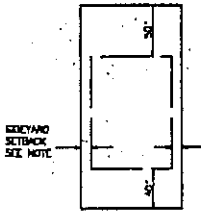
SITE & UNIT PLAN
PARK RIDGE AT STONEWOOD
KIEFT ENGINEERING, INC. SHEET 3
 1001 W. 10TH STREET, SUITE 100, LANSING, MI 48207
 PHONE 313-487-8888 FAX 313-487-8889
 www.kieft-engineering.com

James S. Kieft

UPPER 21851 P0746



NOTE: SETBACK WHICH EXCEEDS UNIT
 WIDTH IS 40 FT LEFT & 30 FT
 RIGHT. LOTS 15-17 ARE 30 FT
 LEFT & 10 FT RIGHT.



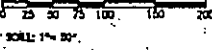
TYPICAL UNIT WITH SETBACK LINES

LEGEND

- LIMITS OF UNIT OVERLAPPING THE LIMITS OF ROAD CROSSING
- BOUNDARY LINES
- BUILDING SETBACK LINE
- LIMITS OF METLANDS SETBACK LINE
- 25' NATURAL FEATURES SETBACK LINE
- COORDINATE POINT
- METLAND COORDINATE POINT
- CURVE DATA
- RADIAL USE
- ▨ GENERAL COMMON ELEMENT
- ▨ NATURAL FEATURES SETBACK AREA
- MONUMENT

NOTE:
 ALL IMPROVEMENTS FOR UNITS AND
 ROADS TO "BE BUILT".
 SEE SHEET NO. 13 FOR COORDINATE
 CURVE AND UNIT AREA INFORMATION.

PROPOSED 4-8-2000



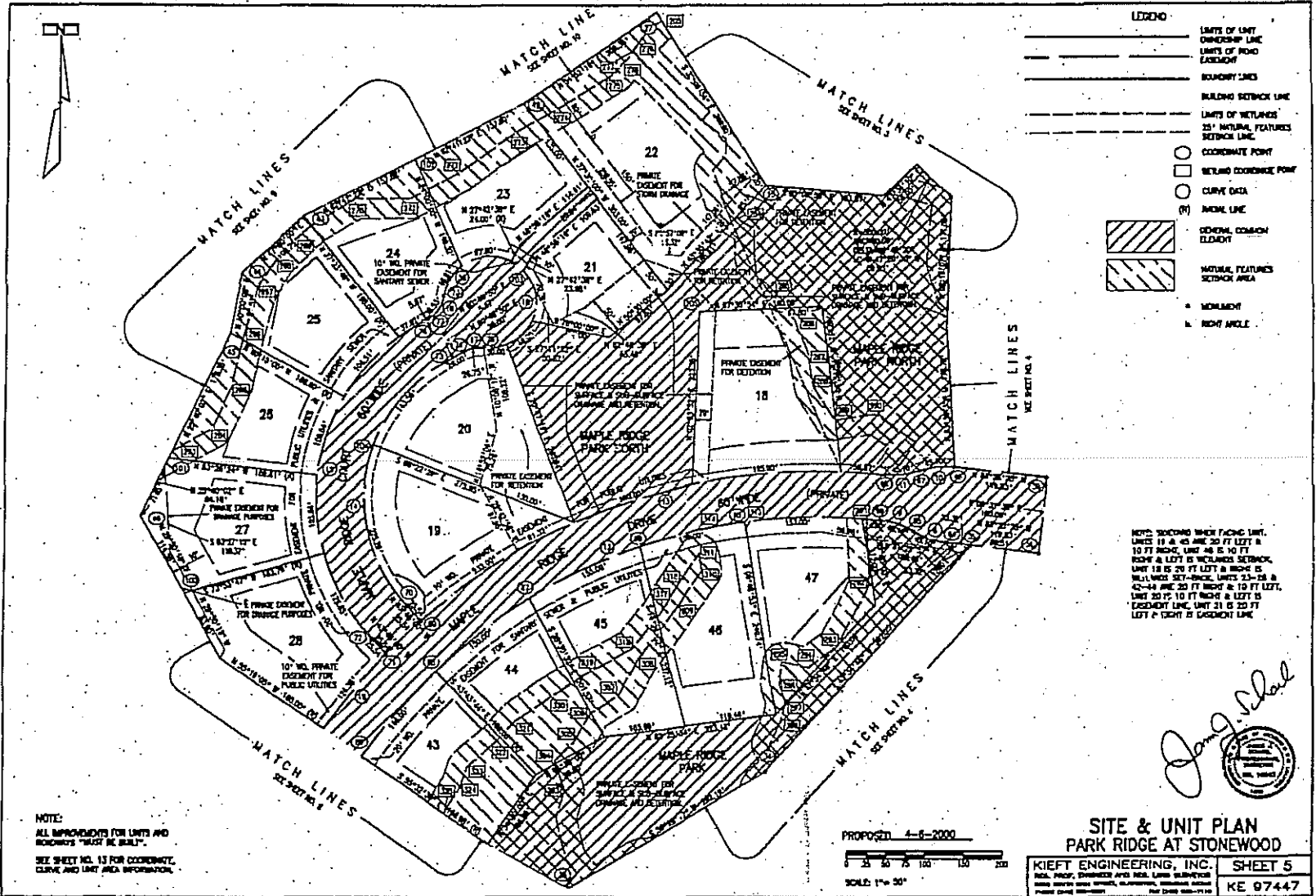
SCALE: 1" = 30'

SITE & UNIT PLAN
 PARK RIDGE AT STONEMOOD

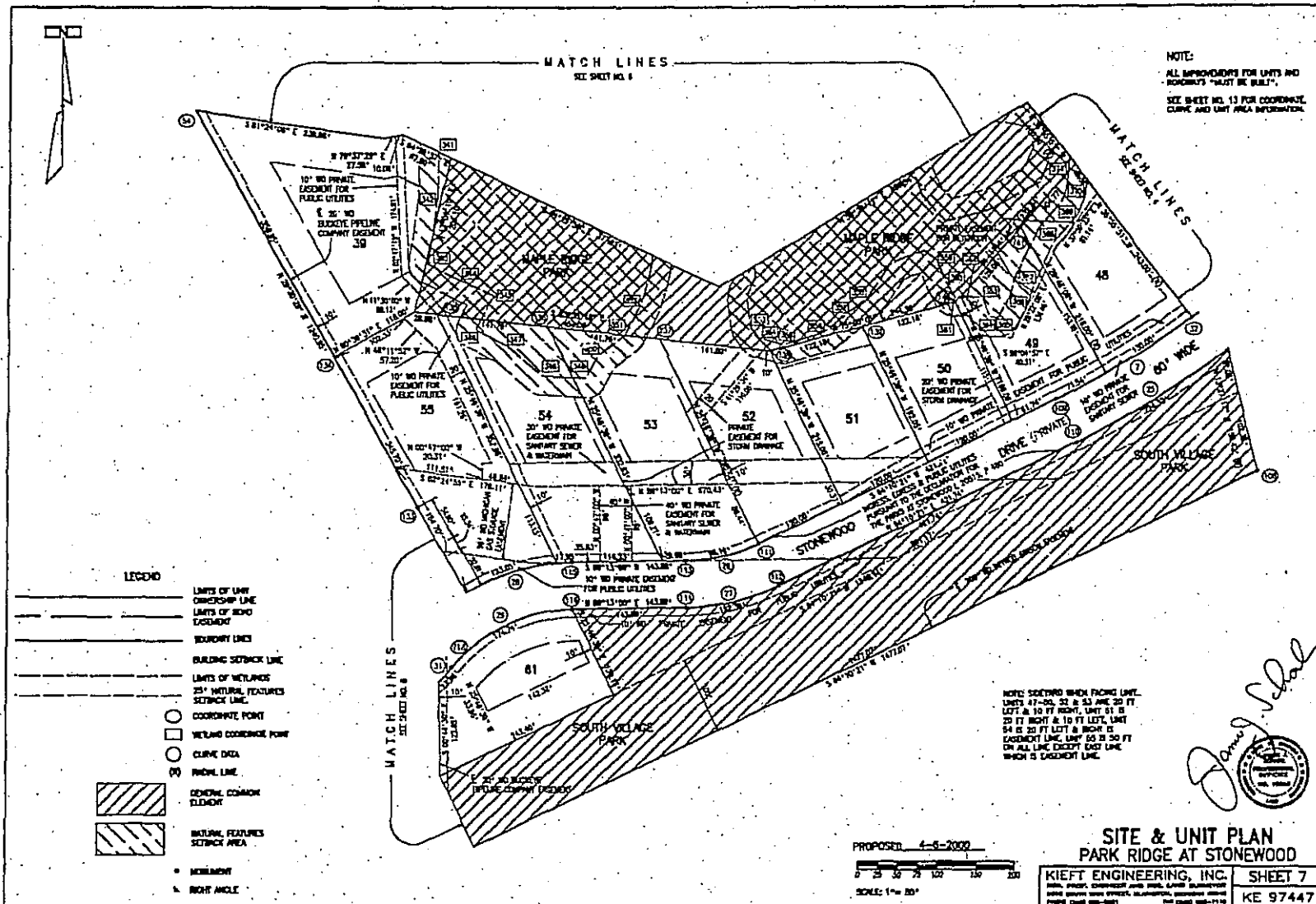
KIEFT ENGINEERING, INC. SHEET 4
 REG. PROF. ENGINEER AND REG. LAND SURVEYOR
 800 SOUTH MAIN STREET, SUITE 100, WASHINGTON, MISSISSIPPI 39201
 PHONE (601) 938-8801 FAX (601) 938-7110
 KE 97447

James Schell

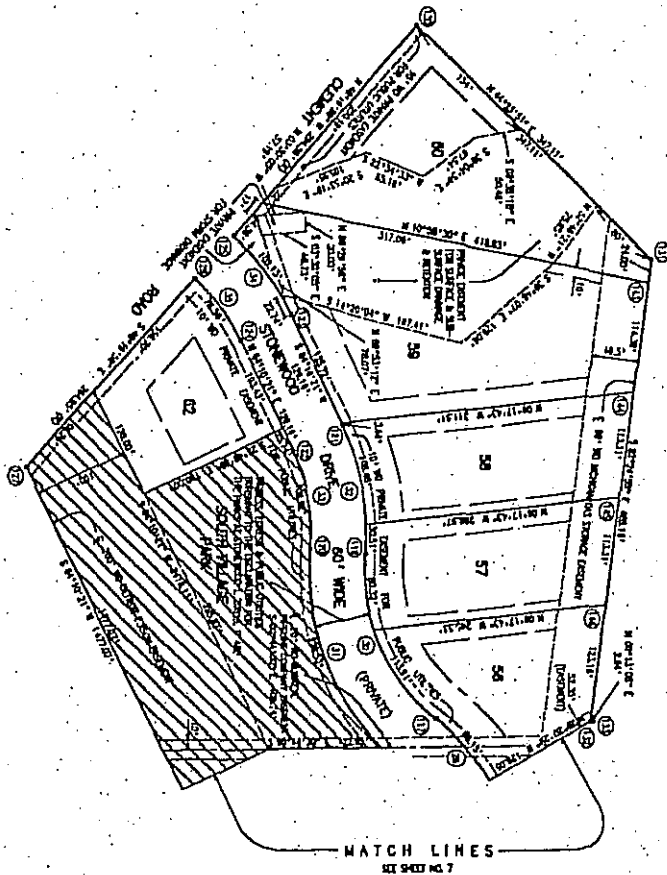
11/18/21 1951 PC747



IMP 212510749



NOTE:
 All measurements for Lines and
 Boundaries shall be taken
 on the ground.
 All measurements shall be taken
 on the ground.



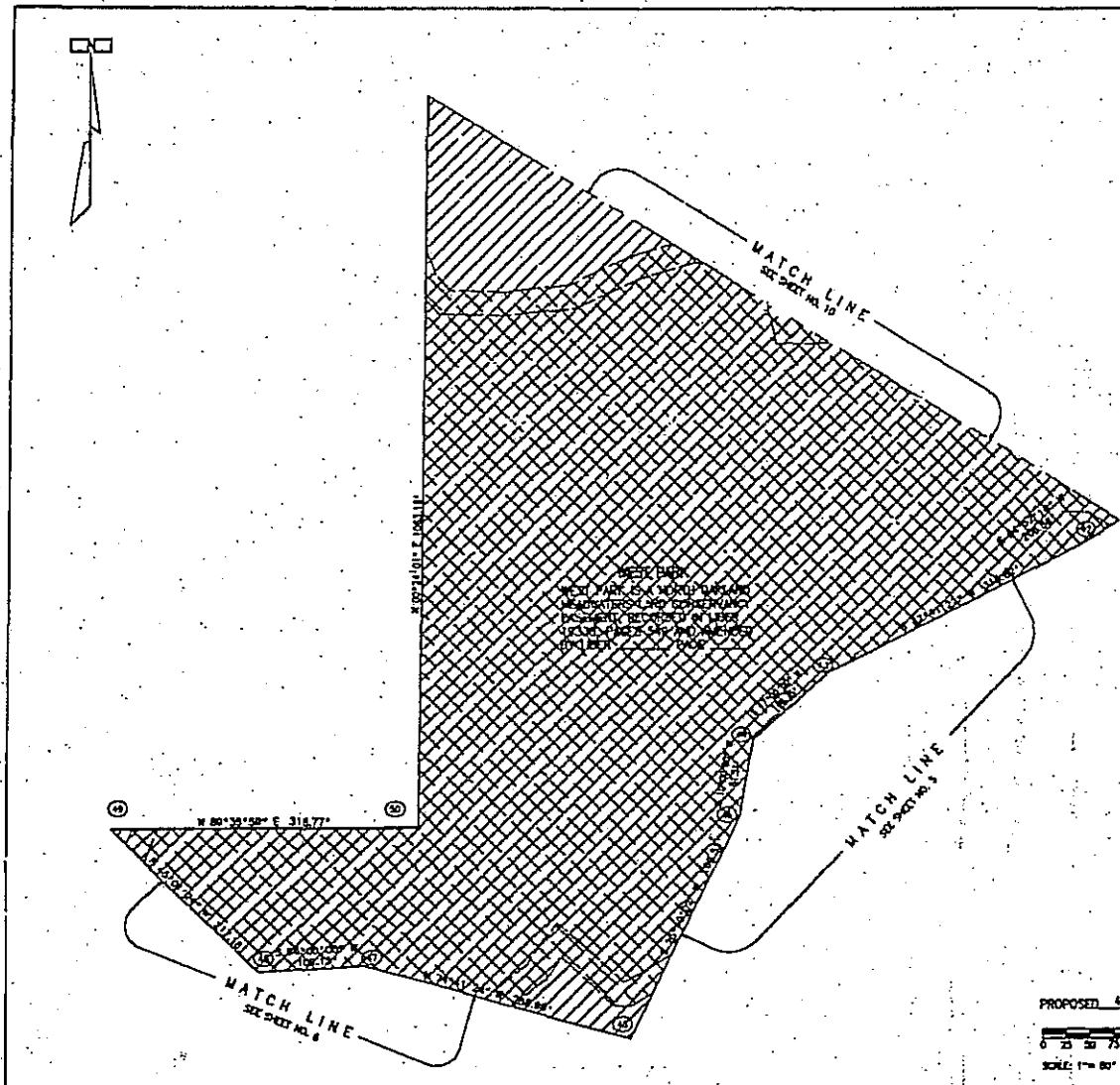
SITE & UNIT PLAN
PARK RIDGE AT STONEWOOD
 KIEFT ENGINEERING, INC. SHEET B
 PROJECT NO. KE 97447

James Schall

NOTE: SHOWN MATCH LINES ARE
 NOT TO BE USED FOR CONSTRUCTION
 OF THIS PROJECT. ALL CONSTRUCTION
 SHALL BE DONE IN ACCORDANCE WITH
 THE PERMITS AND SPECIFICATIONS
 OF THE LOCAL AUTHORITY.

- LEGEND**
- LIMIT OF UNIT
 - DIMENSION LINE
 - PROPERTY LINE
 - BOUNDARY LINE
 - BUILDING SETBACK LINE
 - LIMIT OF SETBACKS
 - 20' MINIMUM PLANNING SETBACK LINE
 - COMMON AREA
 - RETIRED COMMON AREA
 - CLUMP BUSH
 - POOL LINE
 - CENTRAL COMMON ELEMENT
 - HORIZONTAL
 - NORTH ARROW

101R218510751



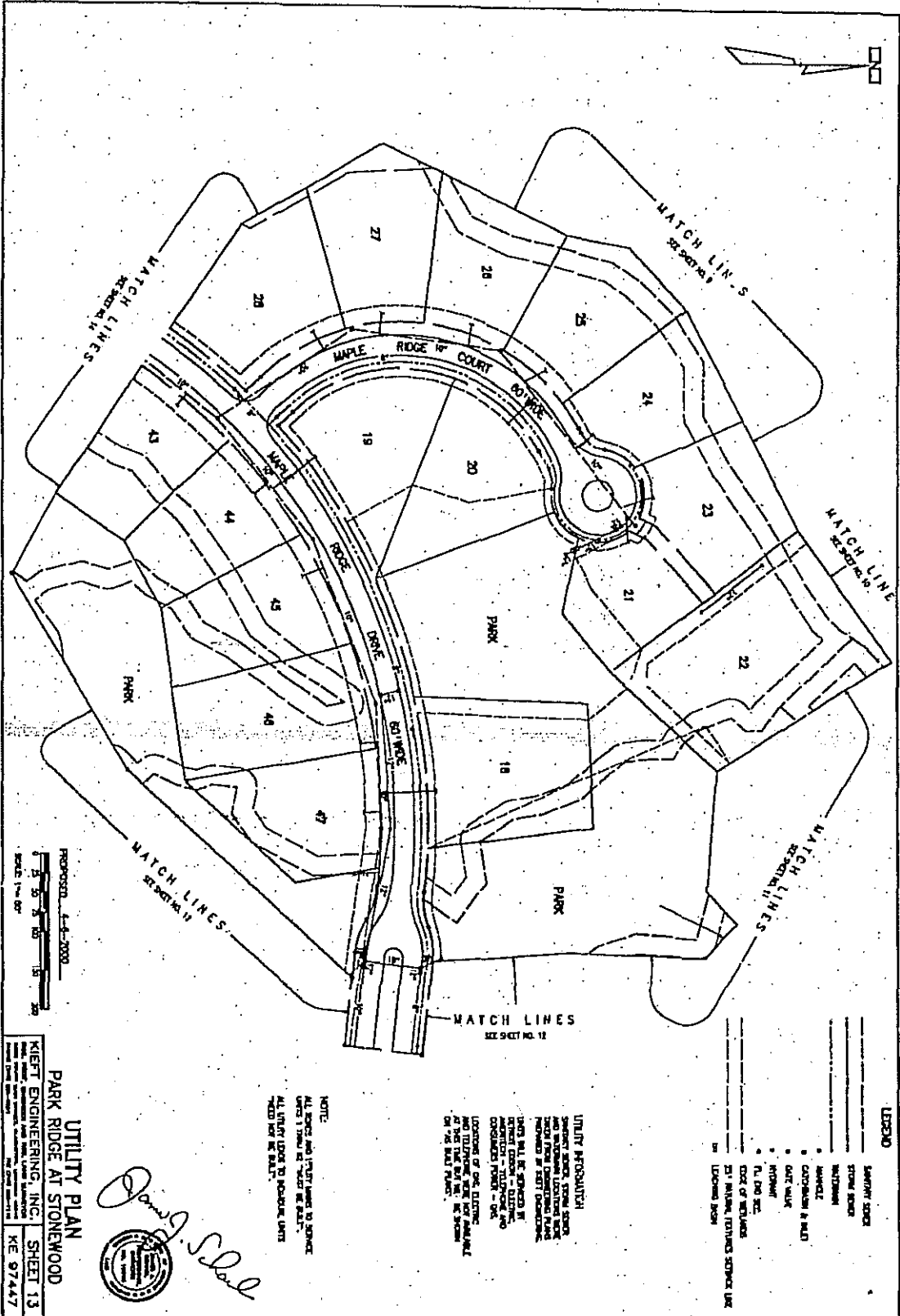
NOTE:
 ALL IMPROVEMENTS FOR LOTS AND
 MONUMENTS MUST BE BUILT
 SEE SHEET NO. 13 FOR COORDINATE,
 CURVE AND UNIT AREA INFORMATION.

- LEGEND
- LIMITS OF UNIT OWNERSHIP LINE
 - LIMITS OF ROAD EASEMENT
 - BOUNDARY LINES
 - BUILDING SETBACK LINE
 - LIMITS OF WETLANDS
 - NATURAL FEATURES SETBACK LINE
 - PRIMARY POINT
 - CURVE DATA
 - MONUMENT
 - ▨ GENERAL EASEMENT ELEMENT
 - ▨ NATURAL FEATURES SETBACK AREA
 - MONUMENT

John J. Kieft

PROPOSED 4-6-2000
 0 25 50 75 100 150 200
 SCALE: 1" = 80'

SITE & UNIT PLAN
PARK RIDGE AT STONEWOOD
KIEFT ENGINEERING, INC. SHEET 9
THESE PLANS, SPECIFICATIONS AND DETAILS, IF ANY, SUBMITTED BY ME TO THE CITY OF CHICAGO, ILLINOIS, FOR REVIEW AND RECORD UNDER THE PROVISIONS OF THE CHICAGO BUILDING CODE.



PROPOSED, E.L. 2000
 0 5 10 15 20
 SCALE 1"=50'

UTILITY PLAN
 PARK RIDGE AT STONEWOOD
 SHEET 13
 KE 97447

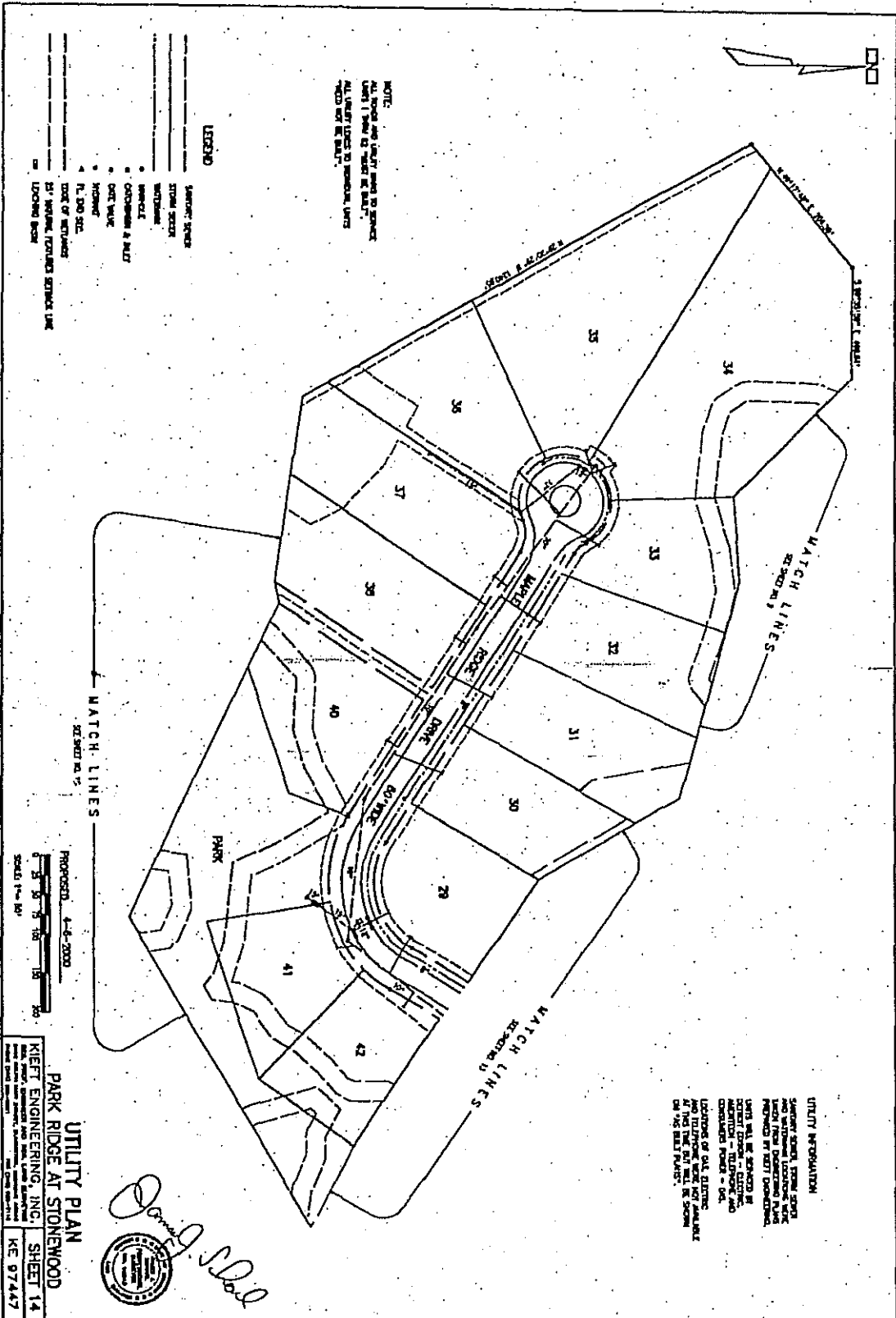
James J. Schall

NOTE:
 ALL SEWER AND WATER LINES TO SERVICE UNITS 1 THROUGH 28 SHALL BE BUILT.
 ALL UTILITY LINES TO PROVIDE SERVICE TO UNITS 18-28 SHALL BE BUILT.

UTILITY PROFESSIONAL
 I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF OHIO AND THAT I AM THE DESIGNER OF THE ABOVE PROJECT.
 DATE OF DESIGN: 11/11/00
 PROJECT NO.: 00-000000-000
 LICENSE NO.: 10887

LEGEND

- SEWER
- WATER
- GAS
- ELECTRIC
- TELEPHONE
- EXISTING
- PROPOSED
- AS SHOWN
- LOOKING NORTH



NOTE:
 ALL TRENCH AND UTILITY DEPTHS TO BE SPECIFIED
 UNLESS OTHERWISE NOTED ON SHEET OR IN SPECIFICATIONS.
 ALL UTILITY DEPTHS TO BE MEASURED FROM FINISHED GRADE UNLESS OTHERWISE NOTED.

LEGEND

- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- GAS
- CABLE
- F. D. D. SIDE
- 24" METAL FLEXIBLE SERVICE LINE
- UNBROKEN SIDE

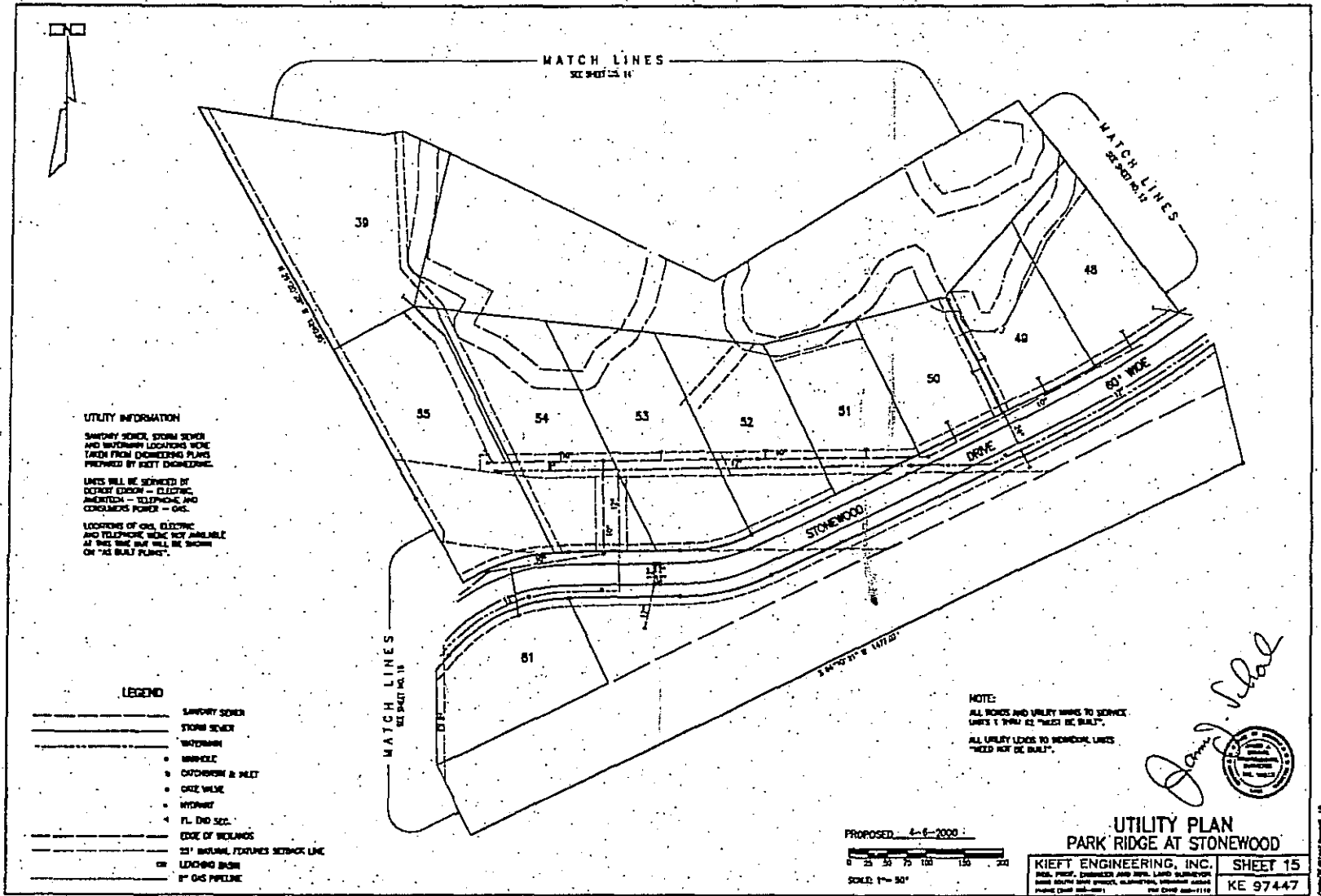
UTILITY INFORMATION:
 SANITARY SEWER, STORM SEWER,
 AND WATER MAIN LOCATIONS SHOWN
 BASED UPON RECORD DRAWINGS AND
 FIELD SURVEY DATA.
 UTILITY DEPTHS TO BE SPECIFIED BY
 THE CONTRACTOR.
 LOCATIONS OF GAS, ELECTRIC,
 AND TELEPHONE LINES NOT SHOWN
 ON THIS SHEET.
 SEE SHEET 14 FOR DETAILS.

PROPOSED 4-4-2000
 SCALE 1"=40'
 SHEET 14 OF 14

UTILITY PLAN
 PARK RIDGE AT STONEWOOD
 SHEET 14
 KE 97447

David S. Blair

21851 PG757



UTILITY INFORMATION

SANITARY SEWER, STORM SEWER AND WATERMAIN LOCATIONS WERE TAKEN FROM ENGINEERING PLANS PROVIDED BY HOST ENGINEERING.

LOTS WILL BE SERVICED BY DETROIT Edison - ELECTRIC, AMERICAN - TELEPHONE AND CONSUMERS POWER - GAS.

LOCATIONS OF GAS, ELECTRIC AND TELEPHONE WERE NOT AVAILABLE AT THIS TIME, BUT WILL BE SHOWN ON "AS BUILT" PLANS.

LEGEND

- SANITARY SEWER
- STORM SEWER
- WATERMAIN
- BIWASOLE
- CATCHER & SILET
- GAS VALVE
- HYDRANT
- FL. HD. SEC.
- EDGE OF WETLANDS
- 33' BOUNDARY FEATURES SETBACK LINE
- LOCKING BRUSH
- 1" GAS PIPELINE

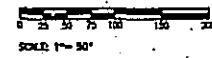
NOTE:

ALL BOXES AND UTILITY WINGS TO SERVICE LOTS 1 THRU 52 "MAY BE BUILT".

ALL UTILITY LEADS TO BOUNDARY LINES "MAY NOT BE BUILT".

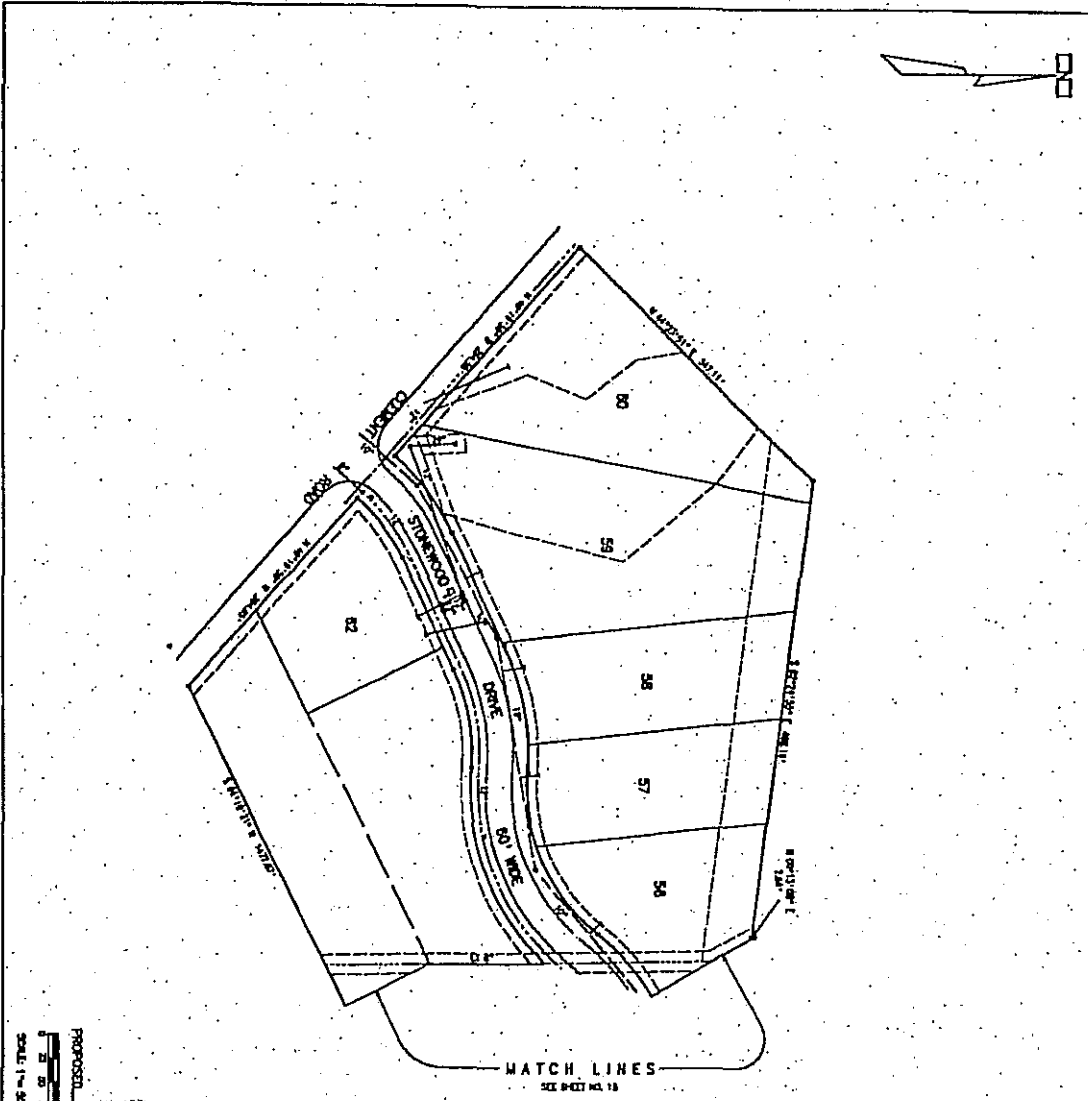
Handwritten signature

PROPOSED: 4-6-2000



**UTILITY PLAN
 PARK RIDGE AT STONEWOOD**

KIEFT ENGINEERING, INC. SHEET 15
 1000 WEST 10TH STREET, SUITE 100, ANN ARBOR, MI 48106
 PHONE (313) 963-1001 FAX (313) 963-1110
 KE 97447



PROPOSED 4-4-2020
 SCALE 1"=40'

NOTE
 ALL LOTS AND UTILITY LINES TO BE CONFORMED TO THE CITY OF ST. LOUIS.
 ALL UTILITY LINES TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF ST. LOUIS.

UTILITY INFORMATION
 SANITARY SEWER, STORM SEWER, WATER, GAS, AND CABLE LINES SHOWN FOR INFORMATION. LINES PROVIDED BY CITY DEPARTMENT.
 LOTS WILL BE SERVED BY EXISTING SANITARY SEWER, WATER, GAS, AND CABLE LINES.
 LOCATION OF ONE EXISTING SANITARY SEWER MANHOLE IS SHOWN AT THE BOTTOM RIGHT CORNER OF THE PLOT PLANS.

- LEGEND
- SANITARY SEWER
 - STORM SEWER
 - WATER
 - GAS
 - CABLE
 - 6" POLYURETHANE
 - 12" DOD SIE
 - 24" NATURAL FIBER OPTIC STRONG LINE
 - LEADING INCH
 - 6" GAS

UTILITY PLAN
 PARK RIDGE AT STONEWOOD
 KIEFT ENGINEERING, INC. SHEET 18
 KE 97447

[Handwritten Signature]

